

GRANT CHAMBERLAIN ROOF REPLACEMENT

101-106 Grant Chamberlain Drive Bozeman, MT 59715

ISSUE DATE: 02/16/2024

A&E PROJECT NUMBER: 23-0657



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GRANT CHAMBERLAIN
ROOF REPLACEMENT



DRAWN BY: JR		
REVIEWED BY: ES		
REV.	DESCRIPTION	DATE



PPA #: 23-0657
A/E #: 23-0657
A&E PROJ #: 23123.00

SHEET TITLE
COVER SHEET

SHEET
GO.0

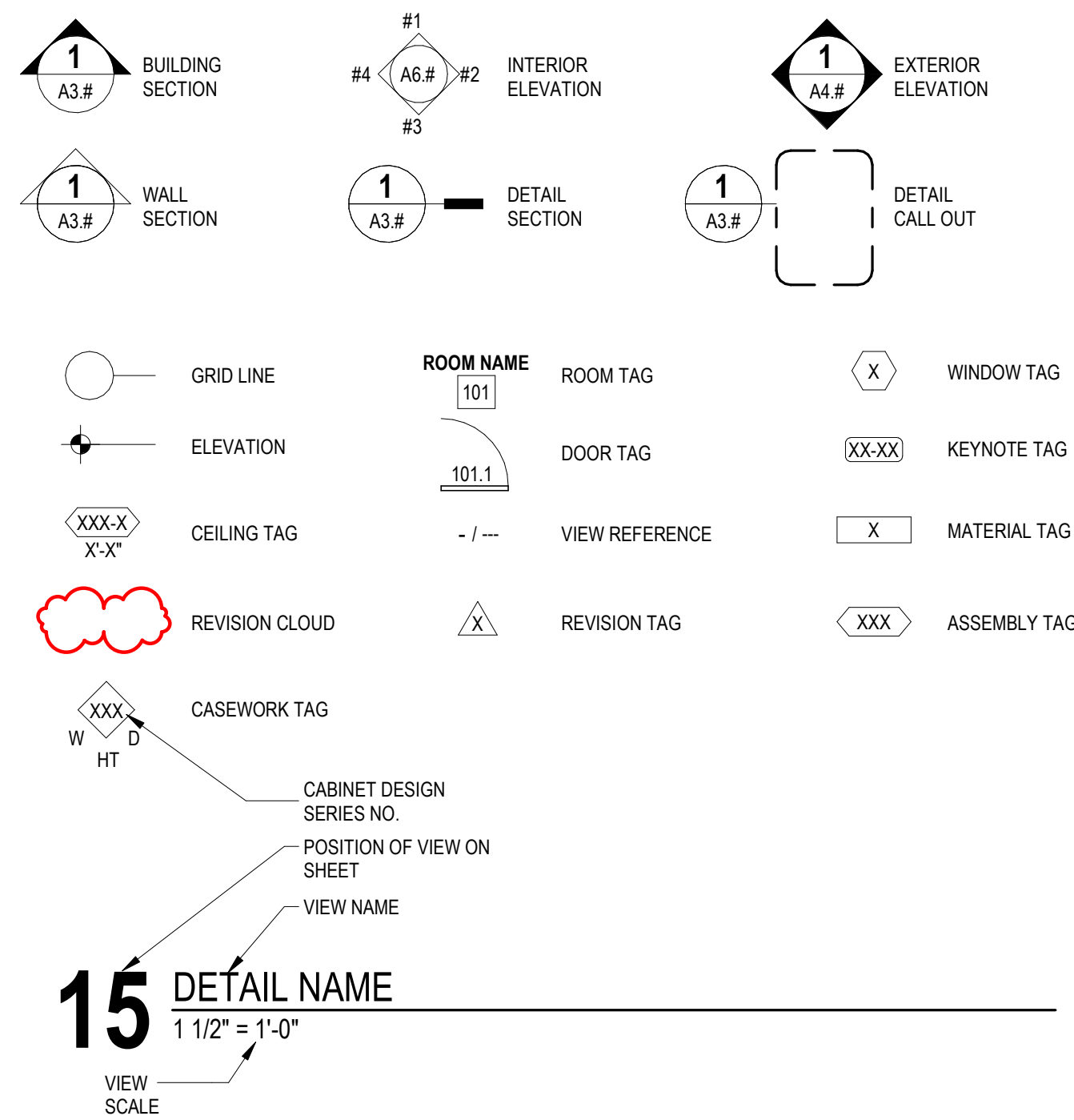
DATE
03/08/24

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ARCHITECTURAL ABBREVIATIONS

AB ANCHOR BOLT	GA GAUGE	R RADIUS
ABV ABOVE	GALV GALVANIZED	RA RETURN AIR
AC AIR CONDITIONING	GB GYPSUM BOARD	RB RUBBER BASE
ACT ACUSTICAL CEILING TILE	GC GENERAL CONTRACTOR	RD ROOF DRAIN
ADDL ADDITIONAL	GL GLASS, GLAZING	RECY RECYCLE(D)
ADJ ADJUSTABLE	GWB GYPSUM WALL BOARD	REF REFERENCE
AFF ABOVE FINISH FLOOR	GYP GYPSUM	REFRIG REFRIGERATOR OR REFRIGERATION
ALT ALTERNATE	HC HANDICAP	REINF REINFORCE
ALUM ALUMINUM	HDR HEADER	REQD REQUIRED
ARCH ARCHITECT(URAL)	HDW HARDWARE	RM ROOM
AWN AWNING	HM HOLLOW METAL	RO ROUGH OPENING
	HORIZ HORIZONTAL	ROW RIGHT OF WAY
B/ BOARD	HR HOUR	
BLDG BUILDING	HT HEIGHT	S SOUTH
BLKG BLOCKING	HTD HEATED	SC SOLID CORE
BM BEAM OR BENCHMARK	HVAC HEATING/VENTILATION & AIR CONDITIONING	SCH SCHEDULE
BRG BEARING		SCHED SCHEDULED
BTWN BETWEEN	ID INSIDE DIAMETER	SECT SECTION
BUR BUILT-UP ROOF	INFO INFORMATION	SF SQUARE FEET
	ISO ISOCYANURATE	SFRM SPRAY APPLIED FIRE RESISTIVE MATERIAL
CAB CABINET	INSUL INSULATE / INSULATED / INSULATION	SGL SINGLE
CJ CONTROL JOINT	INT INTERIOR	SHT SHEET
CL CENTERLINE	INV INVERT	SHTG SHEATHING
CLS CEILING		SIM SIMILAR
CMU CONCRETE MASONRY UNIT	JT JOINT	SIMC SPECIFICATIONS
CO CLEAN OUT	J-BOX JUNCTION BOX	SOD SLAB ON DECK
COL COLUMN		SOG SLAB ON GRADE
CONC CONCRETE	KIT KITCHEN	SOH SAME OPPOSITE HAND
CONC CONTINUOUS		SS STAINLESS STEEL
CONST CONSTRUCTION	L LONG / LENGTH	ST STONE TILE
CG CORNER GUARD	LAM LAMINATE(D)	STD STANDARD
CPT CARPET	LAV LAVATORY	STND STANDARD
CMT CASEMENT	LF LINEAR FEET	STL STEEL
CT CERAMIC TILE	LT LIGHT	STRUCT STRUCTURAL
		TEMP TEMPERED
D DEEP	MAS MASONRY	THK THICK
DF DRINKING FOUNTAIN	MATL MATERIAL	THRESH THRESHOLD
DH DOUBLE HUNG	MAX MAXIMUM	T.O. TOP OF
DIM(S) DIMENSIONS	MECH MECHANICAL	TOB TOP OF BEAM
DISP DISPENSER	DN DOWN	T.O.BM TOP OF BEAM
DN DOWN	MFR MANUFACTURER	T.O.P. TOP OF PLATE
DR DOOR	MH MANHOLE	T.O.S. TOP OF STEEL
DS DOWNSPOUT	MIN MINIMUM	T/ TOP OF
DTL DETAIL	MISC MISCELLANEOUS	T&G TONGUE AND GROOVE
DWG DRAWING	MO MASONRY OPENING	TEL TELEPHONE
	MTL METAL	THK THICK
E EAST	N NORTH	TRANS TRANSOM
EA EACH	NIC NOT IN CONTRACT	TV TELEVISION
EC EXISTING COLUMN	NOM NOMINAL	TYP TYPICAL
EJ EXPANSION JOINT	NTS NOT TO SCALE	
ELEC ELECTRICAL		UL UNDERWRITERS LABORATORY
EL ELEVATION		UNO UNLESS NOTED OTHERWISE
ELEV ELEVATOR	OC ON CENTER	
EQ EQUAL	OD OUTSIDE DIAMETER OR OVERFLOW	
EQUIP EQUIPMENT		VB VINYL BASE
EWC ELECTRIC WATER COOLER		VCT VINYL COMPOSITION TILE
EXH EXHAUST	OPNG OPENING	VERT VERTICAL
EXIST EXISTING	OPP OPOSITE	VEST VESTIBULE
EXP EXPANSION OR EXPOSED	OSB ORIENTED STRAND BOARD	VIF VERIFY IN FIELD
EXT EXTERIOR	OVHD OVERHEAD	VP VENEER PLASTER
		VR VAPOR RETARDER
FACP FIRE ALARM CONTROL PANEL	PL PLATE	VT VINYL TILE
FD FLOOR DRAIN	PLAM PLASTIC LAMINATE	VVC VINYL WALL COVERING
FE FIRE EXTINGUISHER	PLUMB PLUMBING	
FEC FIRE EXTINGUISHER CABINET	PLYWD PLYWOOD	W WIDE OR WEST
F.F. FINISH FLOOR	PNL PANEL	W/ WITH
FIN FINISH	PNT PAINT	WC WATER CLOSET
FKIT FIXTURE	POLY POLYESTER OR POLYOLEFIN	WD WOOD
FLR FLOOR	PSF POUNDS PER SQUARE FOOT	WDW WINDOW
FND FOUNDATION	PSI POUNDS PER SQUARE INCH	WG WALL GUARD
FP FIRE PROTECTION	PT PRESSURE TREATED OR POINT	WH WATER HEATER
FR FRAME	PVMT PAVEMENT	WIN WITHIN
FRMG FRAMING		WIO WITHOUT
FT FEET/FOOT OR FIRE TREATED	QT QUARRY TILE	WP WATERPROOF
FTG FOOTING	QTR QUARTER	WR WATER RESISTANT
FTNG FOOTING	QTY QUANTITY	WT WEIGHT
FRP FIBERGLASS REINFORCED PANEL		WWF WELDED WIRE FABRIC
FRT FIRE RETARDANT TREATED		
		# NUMBER OR POUND
		@ AT

EXPLANATION OF SYMBOLS



TYPICAL SHEET VIEW NUMBERING LAYOUTS

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16

ARCH D (24"x36")

1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20

ARCH E1 (30"x42")

DISCLAIMER:

A&E DESIGN MAKES NO REPRESENTATION AS TO THE COMPLETENESS, APPROPRIATENESS, OR COORDINATION OF INFORMATION PROVIDED BY, AND IS NOT LIABLE FOR, THE WORK OF CONSULTANTS CONTRACTUALLY ENGAGED BY OTHERS.

SUSTAINABILITY NOTES

- REPETITIVE AND/OR INTERMITTENT HIGH-LEVEL NOISE PERMITTED ONLY DURING DAYTIME. AT 50'-0" FROM THE PROJECT BOUNDARY DO NOT EXCEED 70 DB(A) FOR MORE THAN 12 MINUTES IN ANY HOUR.
- MAXIMUM AMBIENT NOISE LEVELS (DB) FOR NOISE AREA AT PROJECT BOUNDARY: DAYLIGHT HOURS 65 DB, NON-DAYLIGHT HOURS 45 DB.
- DEVELOP A WASTE MANAGEMENT PLAN ACCORDING TO ASTM E 1609. PLAN SHALL CONSIST OF WASTE IDENTIFICATION, WASTE REDUCTION WORK PLAN, AND COST/REVENUE ANALYSIS. DISTINGUISH BETWEEN CONSTRUCTION WASTES. INDICATE QUANTITIES BY WEIGHT OR VOLUME, BUT USE SAME UNITS OF MEASURE THROUGHOUT WASTE MANAGEMENT PLAN.
- DEVELOP A WASTE REDUCTION WORK PLAN. IDENTIFY NON-HAZARDOUS DEMOLITION AND CONSTRUCTION WASTE GENERATED BY THE PROJECT AND WHETHER IT WILL BE SALVAGED, RECYCLED, OR DISPOSED OF IN LANDFILL. INCLUDE QUANTITY OF EACH TYPE OF WASTE, QUANTITY FOR EACH MEANS OF RECOVERY, AND HANDLING AND TRANSPORTATION PROCEDURES.
- RECYCLED MATERIALS: DIVERT. AT A MINIMUM, 50% OF RESULTING WASTE FROM A LANDFILL THROUGH SALVAGE AND RECYCLING. SEPARATE RECYCLABLE WASTE FROM OTHER WASTE MATERIALS, TRASH, AND DEBRIS.
- DEVELOP A CONSTRUCTION IAQ MANAGEMENT PLAN. AT A MINIMUM, SCHEDULE OF INSTALLATION OF INTERIOR FINISHES, IDENTIFY SOURCES OF ODOR AND DUST, NOTE CONSTRUCTION VENTILATION PROVIDED INCLUDING USE OF PERMANENT HVAC SYSTEMS, TYPES OF FILTRATION AND SCHEDULE FOR REPLACEMENT OF FILTERS, CLEANING AND DUST CONTROL PROCEDURES, PRODUCTS REQUIRING MOISTURE PROTECTION, AND SCHEDULE FOR INSPECTION OF STORED MATERIALS.
- DEVELOP A TEMPORARY SEDIMENTATION CONTROL PLAN. INDICATE DEVICES, MEASURES, AND LOCATIONS FOR SEDIMENT CONTROL DEVICES, DESCRIBE CONSTRUCTION ACTIVITIES EFFECTING EROSION, DESCRIBE MONITORING AND MEASURES FOR SEDIMENT CONTROL, DESCRIBE MITIGATION AND RESPONSE TO FAILED EROSION CONTROL MEASURES.
- LOW EMITTING MATERIALS. PAINTS, COATINGS, ADHESIVES AND SEALANTS FOR FIELD APPLICATIONS INSIDE THE WEATHER PROOFING SYSTEM SHALL COMPLY WITH VOC CONTENT LIMITS OF AUTHORITIES HAVING JURISDICTIONS OR SCAQMD RULE 1168, WHICHEVER IS STRICTER.
- NO SMOKING. SMOKING, VAPING, AND SMOKELESS TOBACCO USE IS NOT PERMITTED WITHIN THE BUILDING, OR WITHIN 25'-0" OF ENTRANCES, OPERABLE WINDOWS, OR OUTDOOR AIR INTAKES.
- CAST-IN-PLACE CONCRETE. PROVIDE STEEL REINFORCING MATERIALS WITH MINIMUM 25% RECYCLED CONTENT. PROVIDE AGGREGATE AND CEMENT EXTRACTED AND/OR MANUFACTURED WITHIN 500 MILES OF PROJECT SITE.
- UNIT MASONRY. PROVIDE BRICK, BLOCK, AGGREGATE, CEMENT, MORTAR, AND LIME EXTRACTED AND/OR MANUFACTURED WITHIN 500 MILES OF PROJECT SITE.
- STRUCTURAL STEEL, STEEL DECKING, FORMED METAL FRAMING, METAL TOILET COMPARTMENTS, AND FORMED METAL WALL AND ROOF PANELS. PROVIDE MATERIALS WITH POST-CONSUMER RECYCLED CONTENT PLUS ONE-HALF OF PRE-CONSUMER RECYCLED CONTENT NOT LESS THAN 25%.
- ALL COMPOSITE WOOD PRODUCTS SHALL BE MANUFACTURED WITHOUT ADDED UREA FORMALDEHYDE.
- ALUMINUM ENTRANCE AND WINDOW SYSTEMS. PROVIDE ALUMINUM MATERIALS WITH POST-CONSUMER RECYCLED CONTENT PLUS ONE-HALF OF PRE-CONSUMER RECYCLED CONTENT NOT LESS THAN 50%.
- PROVIDE GYPSUM BOARD WALL PANELS MANUFACTURED WITHIN 500 MILES OF THE PROJECT SITE.
- RESILIENT HARD SURFACE FLOORING MATERIALS AND THEIR ADHESIVES SHALL BE FLOORSORE CERTIFIED.
- PLUMBING FIXTURES SHALL BE WATERSENSE CERTIFIED.

ARCHITECTURAL DRAWINGS

SHEET NO.	SHEET NAME
G0.0	COVER SHEET
G0.1	GENERAL INFORMATION
SHEET NO.	SHEET NAME
D2.1	ROOF DEMOLITION PLAN
SHEET NO.	SHEET NAME
A1.1	SITE PLAN
A2.3	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A4.10	ROOF DETAILS
A4.2	PHOTOS

PROJECT TEAM

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CONTRACTOR

TO BE DETERMINED

VICINITY MAP

N.T.S.



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DEMOLITION NOTES

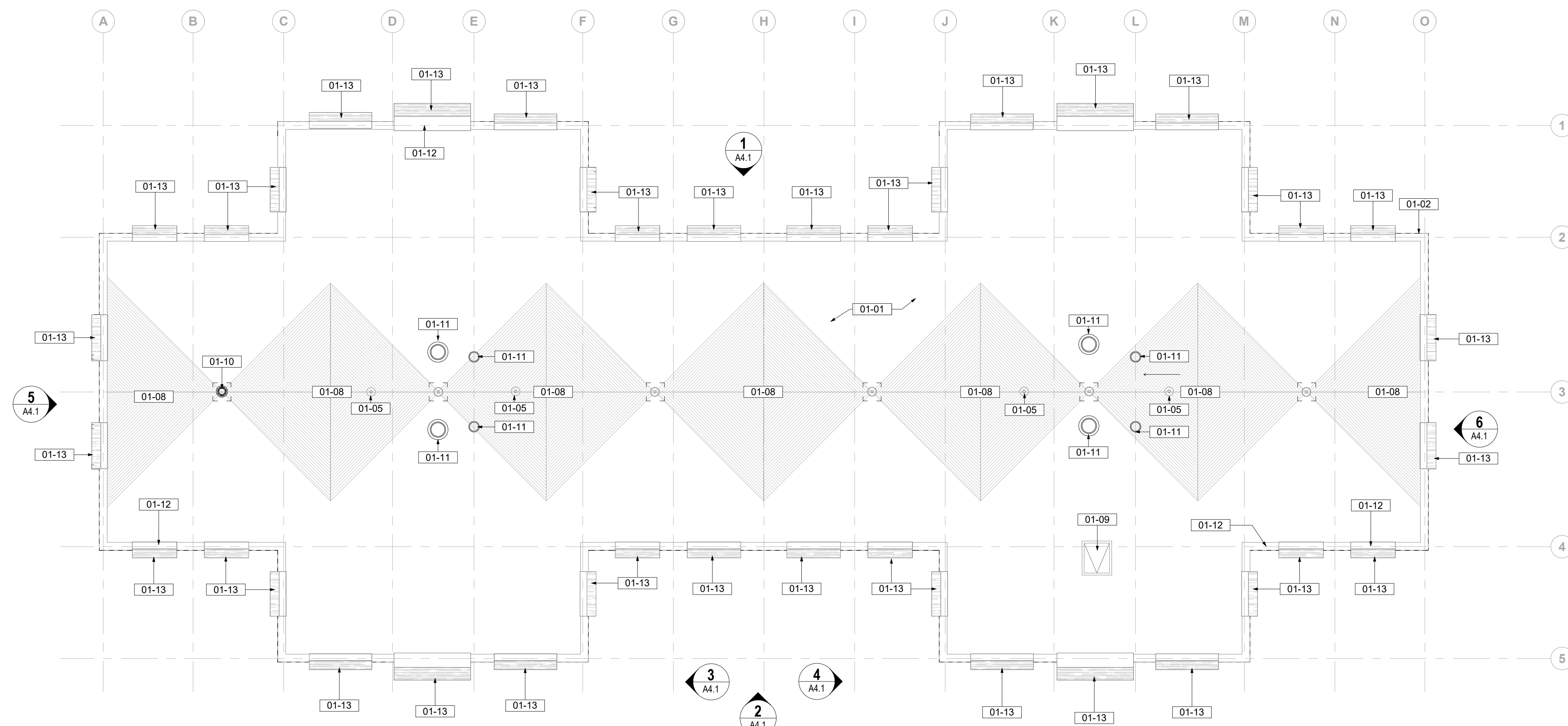
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK.
- THE DEMOLITION NOTES PROVIDE A GENERAL DESCRIPTION OF THE ITEMS AND AREAS REQUIRING REMOVAL. THE CONTRACTOR SHALL FIELD VERIFY ACTUAL QUANTITIES AND LOCATIONS OF ALL INDICATED ITEMS AS NECESSARY TO COMPLETE THE SCOPE OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER FOR ANY EQUIPMENT TO BE SALVAGED. UNLESS SPECIFICALLY SCHEDULED FOR REUSE, DEMOLISHED MATERIALS SHALL BECOME THE POSSESSION OF THE CONTRACTOR AND SHALL BE IMMEDIATELY REMOVED FROM THE SITE.
- REMOVE MATERIALS FROM SITE AND DISPOSE OF IN A LEGAL MANNER AT NO ADDITIONAL EXPENSE TO OWNER.
- DEBRIS FROM THE DEMOLITION SHALL NOT BE ALLOWED TO ACCUMULATE WITHIN THE BUILDING OR ON THE SITE.
- REMOVE FROM SITE ANY CONTAMINATED, VERMIN INFESTED, OR DANGEROUS MATERIALS ENCOUNTERED AND DISPOSE OF BY SAFE MEANS SO AS NOT TO ENDANGER HEALTH OF WORKERS AND PUBLIC.
- BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
- CLEAN-UP: MUST MEET GOVERNING DUST CONTROL CODES.
- NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
- PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
- CARRY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO ANY ADJACENT OCCUPIED BUILDING OR SITE AS POSSIBLE AND WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE TEMPORARY DUST AND CONSTRUCTION SEPARATION WALLS AS REQUIRED TO SHIELD THE PUBLIC FROM NOISE, DUST, WEATHER, AND OTHER HAZARDS THAT MAY BE EXPOSED AS A RESULT OF THE DEMOLITION WORK.
- PERFORM CUTTING OF EXISTING CONCRETE AND MASONRY WITH SAWS AND CORE DRILLS. DO NOT USE JACK-HAMMERS EXCEPT WHERE PERMITTED BY OWNER.
- BREAK CONCRETE AND MASONRY INTO SECTIONS LESS THAN 3 FEET IN ANY DIMENSION.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE EXISTING STRUCTURAL ELEMENTS REMAIN UNDAMAGED THROUGHOUT CONSTRUCTION, UNLESS SPECIFICALLY NOTED ON DEMOLITION PLAN. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY AND PROVIDE ANY SHORING, BRACING, OR TEMPORARY STRUCTURE, AND TO COORDINATE WITH STRUCTURAL ENGINEER AS REQUIRED.
- ALL PUBLIC UTILITIES TO REMAIN IN OPERATION THROUGHOUT CONSTRUCTION. CONTRACTOR TO COORDINATE ANY TEMPORARY SERVICES REQUIRED TO MAINTAIN BUSINESS OPERATIONS.
- SEE ENGINEERING DRAWINGS FOR DUCTWORK, DIFFUSER, PLENUM BOX, ETC. DEMOLITION AND/OR PROTECTION. COORDINATE WITH MECHANICAL ENGINEER.
- FIRE SAFETY MUST BE MAINTAINED FOR ALL PERSONNEL WORKING ON THE FLOOR. ALL FIRE STAIRS, ALARMS, SPEAKERS, ETC. MUST REMAIN ACCESSIBLE AND OPERABLE AT ALL TIMES. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THIS EQUIPMENT. IMMEDIATELY NOTIFY BUILDING SECURITY AND BUILDING MANAGER OF DAMAGED OR DISABLED SYSTEMS AND REPAIR OR REPLACE DAMAGED SYSTEMS IMMEDIATELY. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS.
- IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE OWNER BEFORE PROCEEDING. IMMEDIATELY STOP WORK IF HAZARDOUS MATERIALS ARE FOUND AND CONTACT THE OWNER'S REPRESENTATIVE.
- REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES. SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.
- PROVIDE FOR FIRE PROOFING REPAIR AS REQUIRED AT STRUCTURAL STEEL. TO THE ORIGINAL RATING WHERE CONSTRUCTION TRADES REMOVE EXISTING FIRE PROOFING. REPAIR ANY DAMAGE OR PENETRATIONS IN RATED ASSEMBLIES TO CONFORM TO THEIR ORIGINAL LISTING REQUIREMENTS AND TO MAINTAIN FIRE PROTECTION AND SEPARATION AS ORIGINALLY DESIGNED.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
- FOR AREAS NOT IN DEMOLITION SCOPE OF WORK, PROTECT AS REQUIRED. ALL SURFACES, EQUIPMENT, FIXTURES AND HARDWARE DURING DEMOLITION AND/OR CONSTRUCTION.
- PRIOR TO DEMOLITION, INVESTIGATE WALLS FOR CONCEALED PIPING AND INFORM OWNER/ARCHITECT OF ANY CONDITION NOT DOCUMENTED IN CONTRACT DRAWINGS. DEMO DESIGNATED WALL BASES, WALL FRAMING, BATT INSULATION AND GYPSUM BOARD. DEMO CONDUITS AND RECEPTACLES. REFERENCE ELECTRICAL DEMO PLAN FOR ADDITIONAL INFORMATION.
- ALL EXISTING DIRECTIONAL SIGNAGE TO BE REMOVED UNLESS NOTED OTHERWISE.
- WHERE NOTED, REMOVE FLOORING DOWN TO TOP OF CONC. SLAB, INCLUDING ADHESIVES, TRANSITION STRIPS, AND OTHER ASSOCIATED ELEMENTS, TYP., UNLESS NOTED OTHERWISE. PREPARE REMAINING SURFACES TO RECEIVE NEW FINISHES.
- ALL PENETRATIONS IN THE ROOF MUST BE REVIEWED BY THE CONTRACTOR TO ENSURE THEY ARE NOT AT THEIR EXPIRATION OR CLOSE TO ANY NEW AREAS FOUND SHOWING SIGNS OF DETERIORATION OR CLOSE TO FAILURE MUST BE SHOWN IN WRITING TO THE OWNER OR OWNER'S REPRESENTATIVE DURING THE OVERALL SCOPE OF WORK.

KEYNOTES

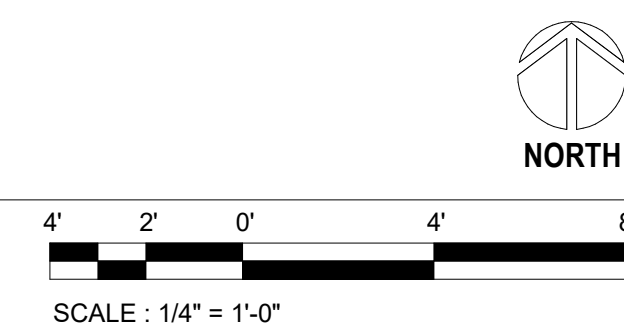
- 01-01 REMOVE AND LEGALLY DISPOSE OF MEMBRANE ROOFING AND UNDERLYING RIGID INSULATION, INCLUDING ALL ADHESIVES AND SEALANTS, ALL UNDERLAYMENTS, FLASHING AND FASTENERS, IN THEIR ENTIRETY. ROOFING CONTRACTOR REQUIRED TO PROVIDE A SUITABLE SURFACE FOR NEW ADHERED MEMBRANE INSTALLATION, PER MFR'S RECOMMENDATIONS.
- 01-02 REMOVE AND LEGALLY DISPOSE OF METAL SIDING/FASCIA, MEMBRANE ROOFING, ADHESIVES AND SEALANTS, FLASHING AND FASTENERS, IN THEIR ENTIRETY. PROVIDE A SUITABLE SURFACE FOR NEW ADHERED MEMBRANE INSTALLATION PER MFR'S RECOMMENDATIONS.
- 01-05 PROTECT EXISTING PLUMBING VENT THROUGH ROOF AT APPROX. LOCATION. LOCATION TO REMAIN, TYP.
- 01-08 REMOVE AND LEGALLY DISPOSE OF CRICKETS, INCLUDING ALL ADHESIVES AND SEALANTS, ALL UNDERLAYMENTS, FLASHING AND FASTENERS IN THEIR ENTIRETY.
- 01-09 PROTECT EXISTING ROOF HATCH IN PLACE, REMOVE AND LEGALLY DISPOSE OF EXISTING CURB FLASHING AND FASTENERS IN THEIR ENTIRETY. EXISTING CURB CONSTRUCTION TO REMAIN AND RECEIVE NEW FLASHING ASSOCIATED WITH THE RE-ROOF WORK.
- 01-10 PROTECT EXISTING ROOF DRAIN IN PLACE, ENSURE SUMP IS MAINTAINED WITH RE-ROOF, TYP.
- 01-11 PROTECT EXISTING MECHANICAL EQUIPMENT IN EXISTING LOCATION. REMOVE AND LEGALLY DISPOSE OF EXISTING CURB FLASHING AND FASTENERS IN THEIR ENTIRETY. EXISTING ROOF CURB CONSTRUCTION TO REMAIN AND RECEIVE NEW FLASHING ASSOCIATED WITH THE RE-ROOF WORK.
- 01-12 REMOVE AND LEGALLY DISPOSE OF METAL COPING, FLASHING, OR OTHER ROOF EDGE FLASHING AS OCCURS, TYP.
- 01-13 REMOVE AND LEGALLY DISPOSE OF EXISTING ASPHALT SHINGLES INCLUDING ALL ADHESIVES, SEALANTS, UNDERLAYMENTS, FLASHING AND FASTENERS IN THEIR ENTIRETY. INSPECT EXISTING SHEATHING TO REMAIN AND REPLACE AND ANY DAMAGED SHEATHING TO MATCH EXISTING. ROOFING CONTRACTOR REQUIRED TO PROVIDE A SUITABLE SURFACE FOR NEW STANDING SEAM ROOF INSTALLATION, PER MFR'S RECOMMENDATION.

DEMOLITION LEGEND

- HATCH INDICATES AREA NOT IN SCOPE OF WORK
- INDICATES BUILT ITEM TO BE REMOVED
- (X) INDICATES LIGHT FIXTURE TO BE REMOVED

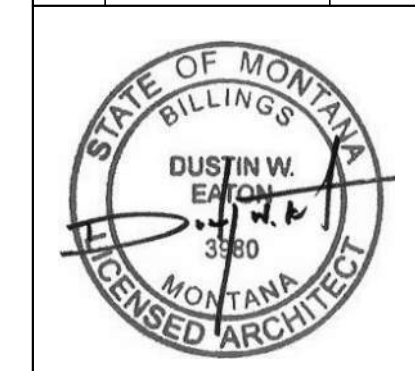


1 ROOF - DEMO
1/8" = 1'-0"



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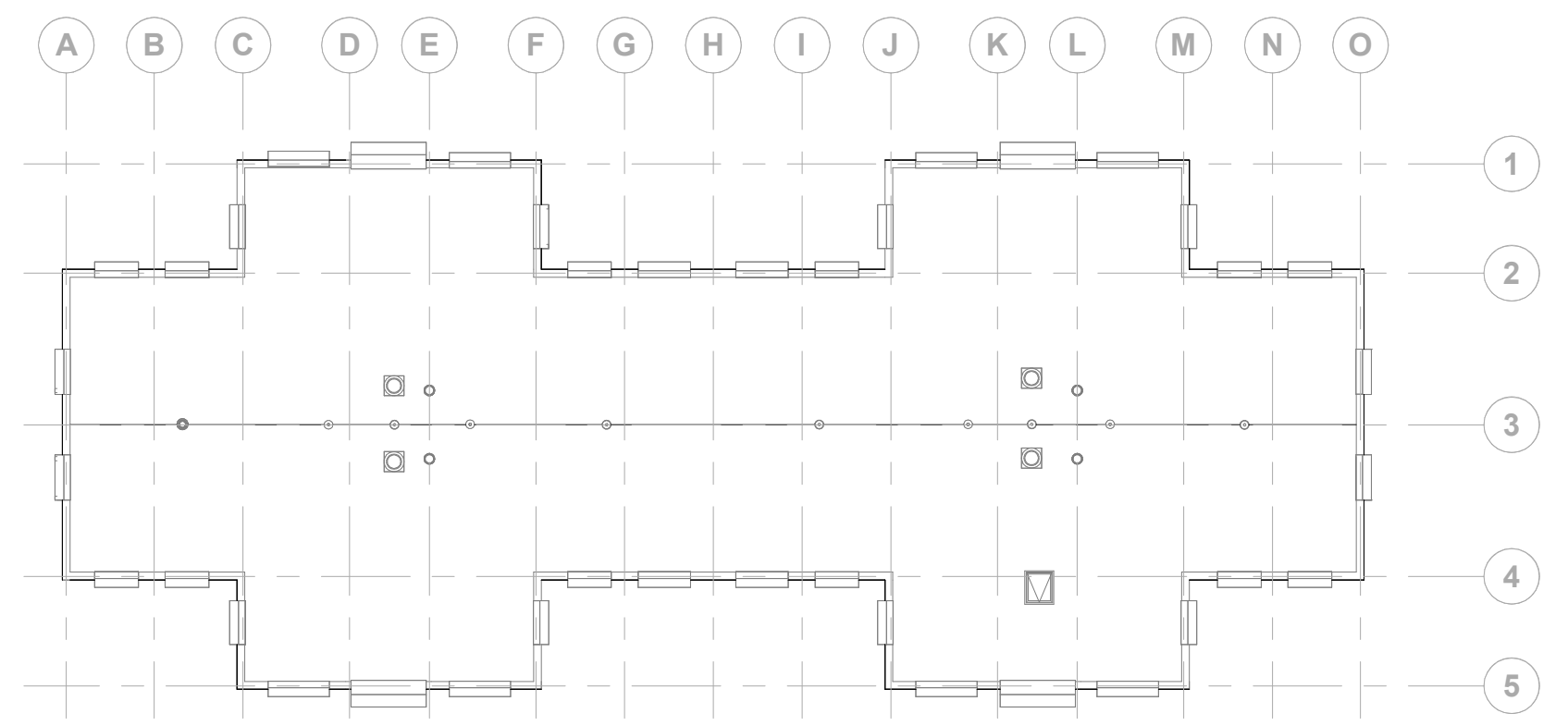


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SHEET TITLE
SITE PLAN

SHEET
A1.1

DATE
03/08/24



1 SITE PLAN (TYP)
1" = 20'-0"

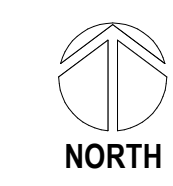


SITE PLAN NOTES

- REFER TO ALL DRAWINGS FOR ADDITIONAL INFORMATION CONCERNING THE WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT PRIOR TO COMMENCING WORK.
- REFERENCE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SITE WORK.
- REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE REQUIREMENTS, LANDSCAPE AREAS, AND ADDITIONAL INFORMATION.
- ALL SIX BUILDINGS TO BE RE-ROOFED. BUILDINGS ARE IDENTICAL.



13 SITE PLAN
N.T.S.



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KEYNOTES

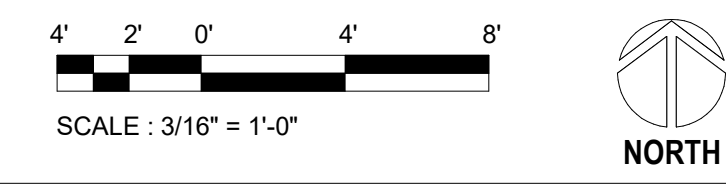
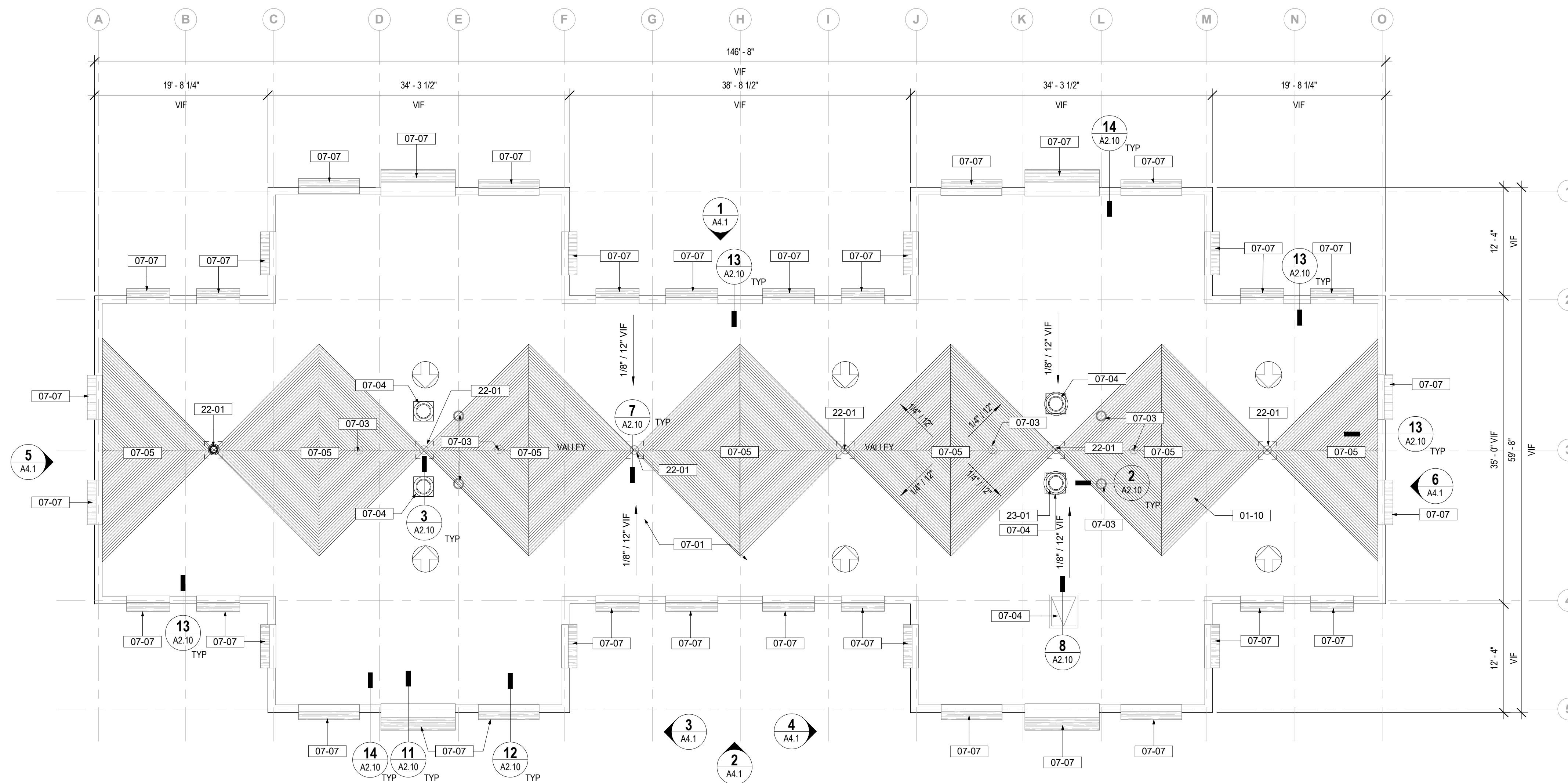
- 01-10 PROTECT EXISTING ROOF DRAIN IN PLACE. ENSURE SUMP IS MAINTAINED WITH RE-ROOF, TYP.
- 07-01 PROVIDE & INSTALL NEW 2" RIGID INSULATION, 1/2" COVERBOARD, AND NEW FULLY ADHERED MEMBRANE, PER MANUFACTURER REQUIREMENTS. REFERENCE PROJECT SPECIFICATIONS, FOR ADDITIONAL INFORMATION.
- 07-03 PROVIDE AND INSTALL NEW VTR BOOT AND BASE FLASHING AS DETAILED, PER MFR REQUIREMENTS.
- 07-04 PROVIDE AND INSTALL NEW 24 GA PREFINISHED GALVANIZED STEEL CURB FLASHING AT EXISTING MECHANICAL AND ROOF HATCH CURBS, WITH FASTENERS @ 12" OC TYP.
- 07-05 PROVIDE AND INSTALL NEW BUILT-UP FOAM CRICKET INSULATION TO MATCH ORIGINAL CRICKET CONFIGURATION AND ENSURE PROPER DRAINAGE TO EXISTING ROOF DRAINS.
- 07-07 PROVIDE AND INSTALL NEW STANDING SEAM METAL ROOFING, PER MANUFACTURER'S REQUIREMENTS. REFERENCE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 22-01 PROVIDE GRAVEL GUARD AT EXISTING ROOF DRAINS, TYP.
- 23-01 REPLACE MISSING VENT HOOD AT BUILDING 103. RECOMMEND LOREN COOK MODEL PR (OR APPROVED EQUAL) TO MATCH EXISTING SIZE. HOOD SIZE AND CURB SIZE TO BE FIELD VERIFIED.

ROOF PLAN NOTES

1. PROVIDE ROOF CRICKETS AT ALL UPSLOPE AREAS OF MECHANICAL EQUIPMENT, CURBS AND ROOF HATCHES.
2. CRICKETS TO SLOPE POSITIVELY 1/4" MINIMUM PER FOOT FROM HORIZONTAL PLANE.
3. MAINTAIN 1/8" PER FOOT MINIMUM FOR ALL CRICKET VALLEYS.
4. CRICKETS SHOWN ARE FOR REFERENCE ONLY; CONTRACTOR TO PROVIDE DETAILED LAYOUT PLAN FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION.
5. ROOF PENETRATIONS OF ANY KIND SHALL NOT BE LOCATED IN CRICKET VALLEYS.
6. IN ADDITION TO OPENING AND EQUIPMENT SHOWN ON THIS DRAWING, MECHANICAL AND ELECTRICAL DRAWINGS, INDICATE ADDITIONAL ITEMS PENETRATING THE ROOF ASSEMBLY, PROVIDE APPROPRIATE FLASHING.
7. INDICATE ADDITIONAL ITEMS PENETRATING THE ROOF ASSEMBLY; PROVIDE APPROPRIATE FLASHING.
9. THIS PLAN REFLECTS THE SAME CONDITIONS ON ALL SIX BUILDINGS. PROJECT IS FOR ALL SIX.

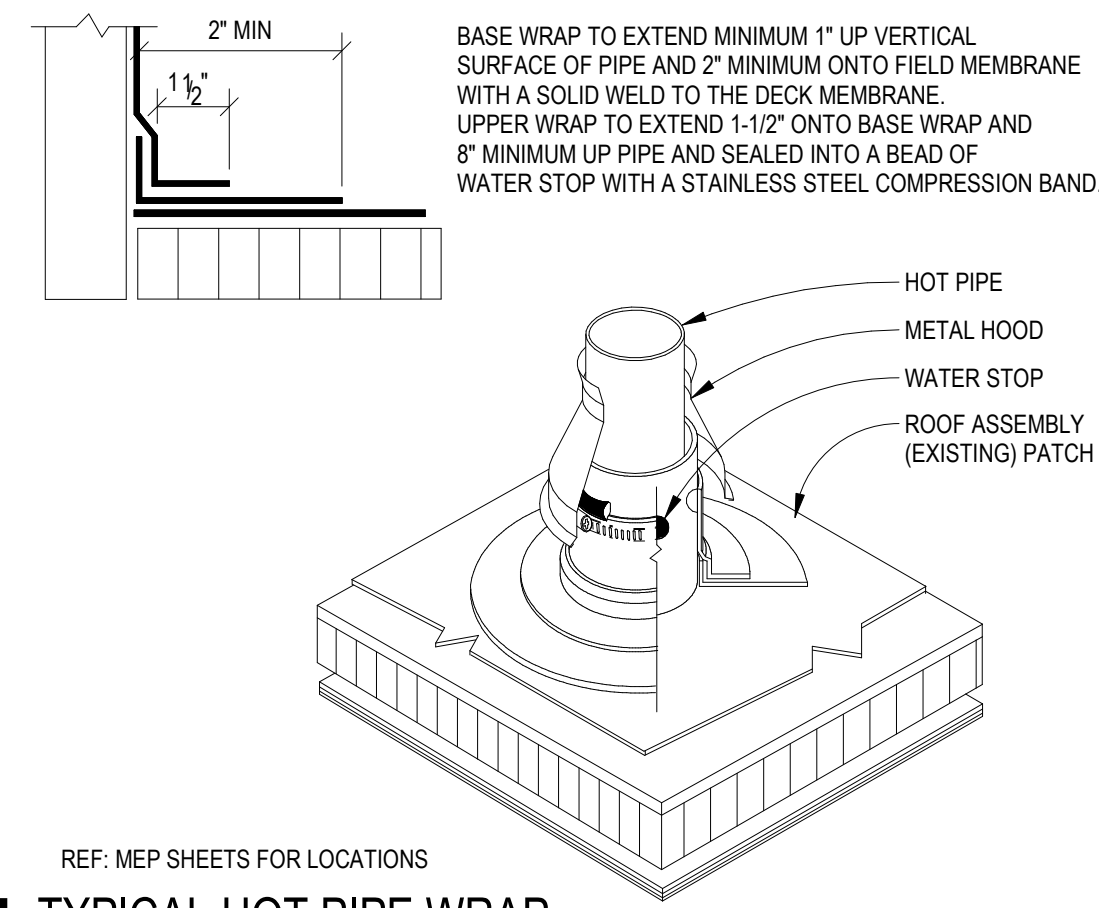
ROOF PLAN LEGEND

- EQUIP. CURB W/ HIGH SIDE CRICKET
- ROOF PENETRATION
- PRIMARY ROOF DRAINS
- INSULATION OVER SLOPED STRUCTURE. ARROWS SHOW DIRECTION OF SLOPE
- ROOF ACCESS HATCH
- CRICKET

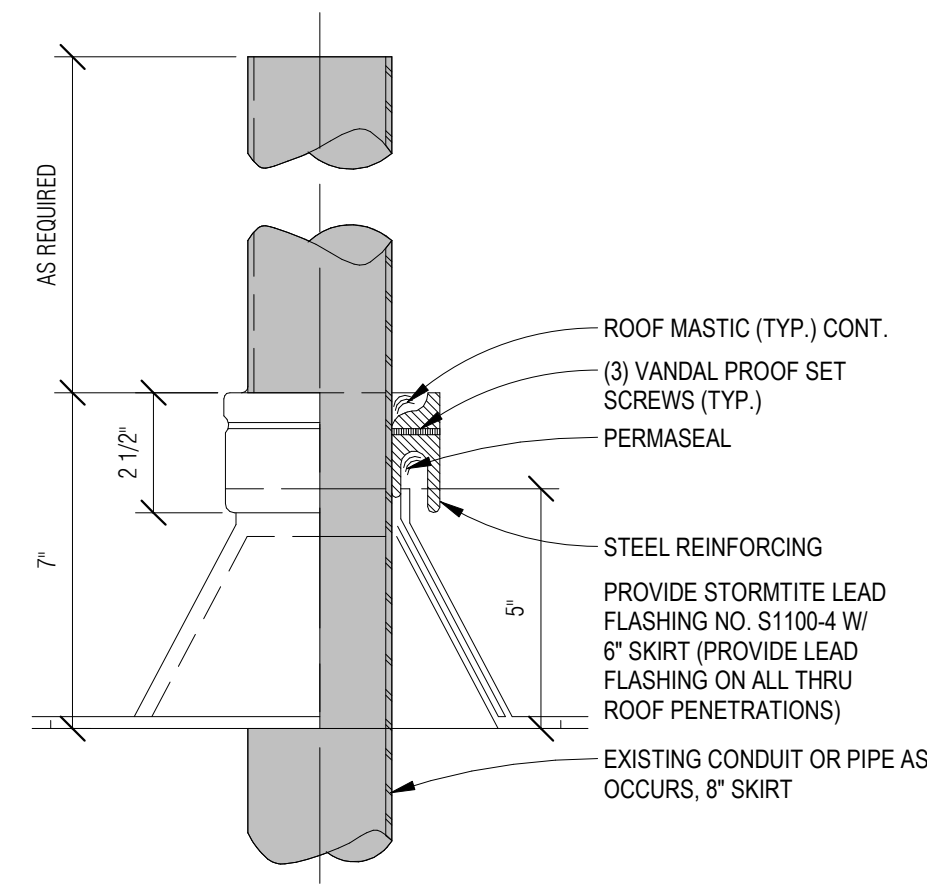


13 ROOF PLAN - BUILDING 101, 102, 103, 104, 105, AND 106
1/8" = 1'-0"

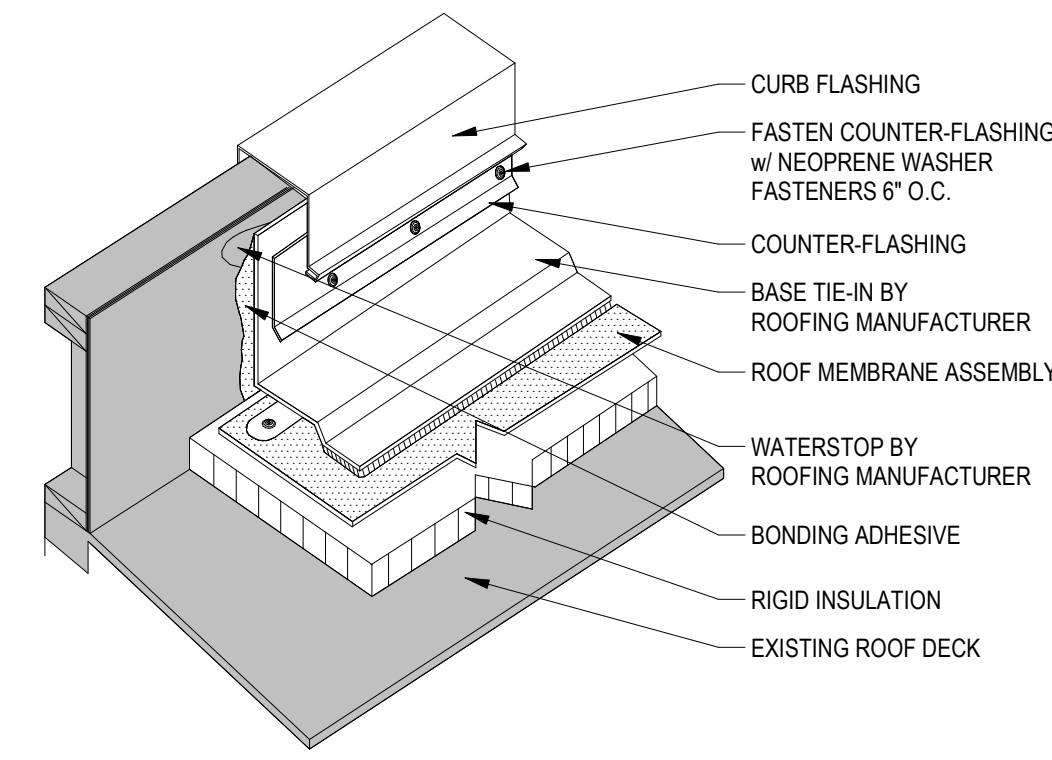
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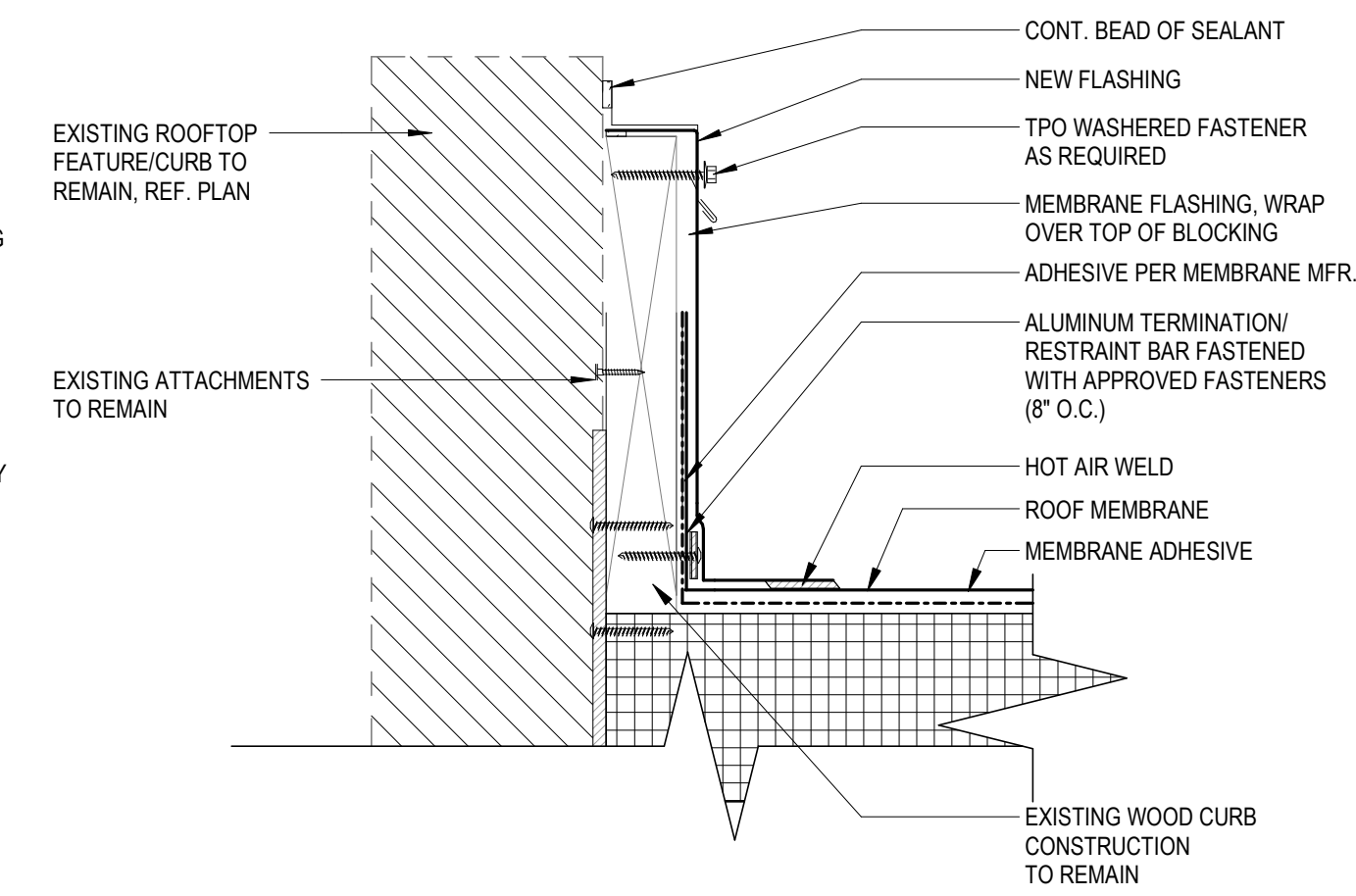
REF: MEP SHEETS FOR LOCATIONS
1 TYPICAL HOT PIPE WRAP
 1" = 1'-0"



2 TYPICAL PIPE PENETRATION DETAIL
 3" = 1'-0"

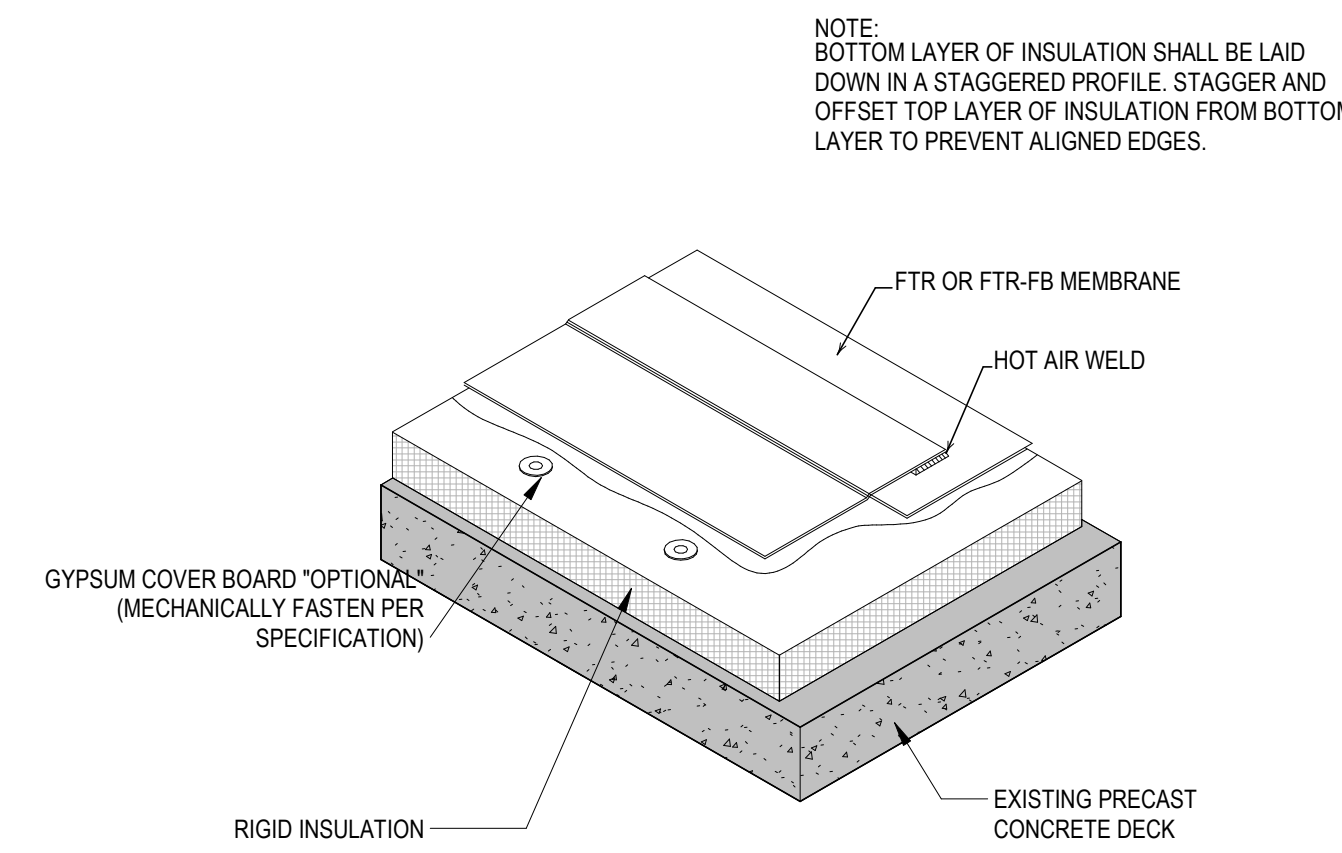
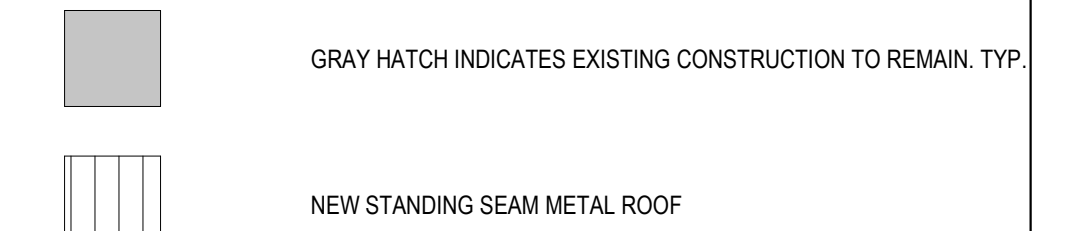


3 TYPICAL CURB FLASHING
 1" = 1'-0"

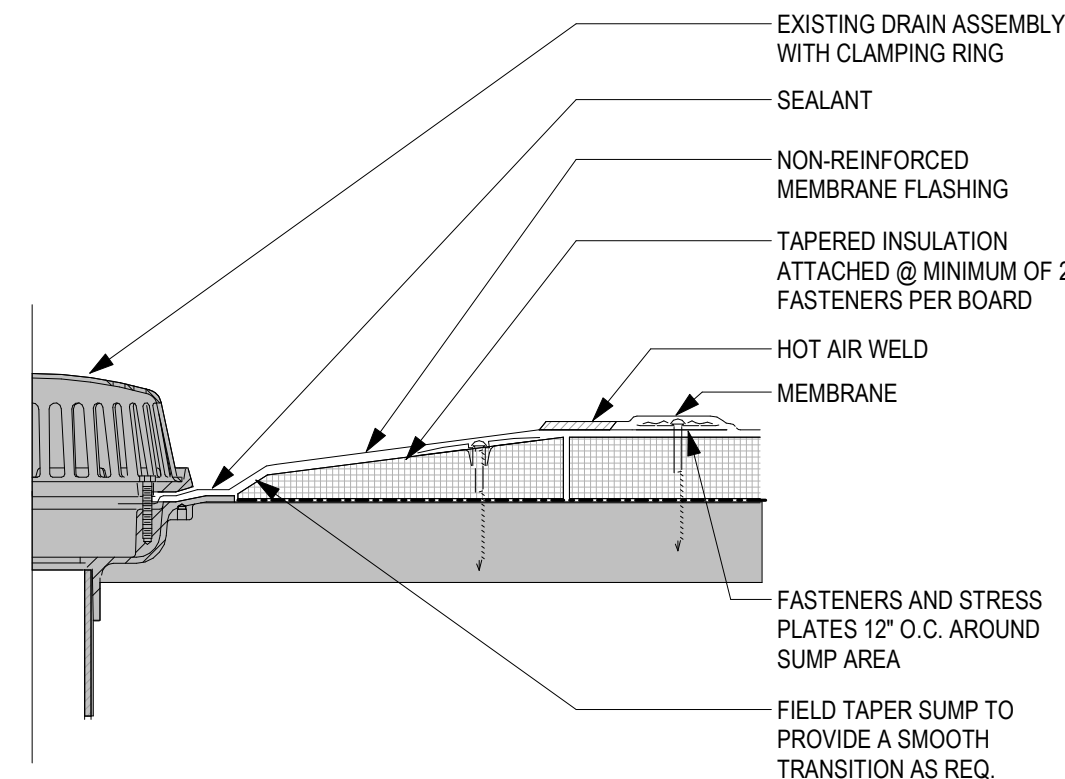


5 ROOF CURB
 6" = 1'-0"

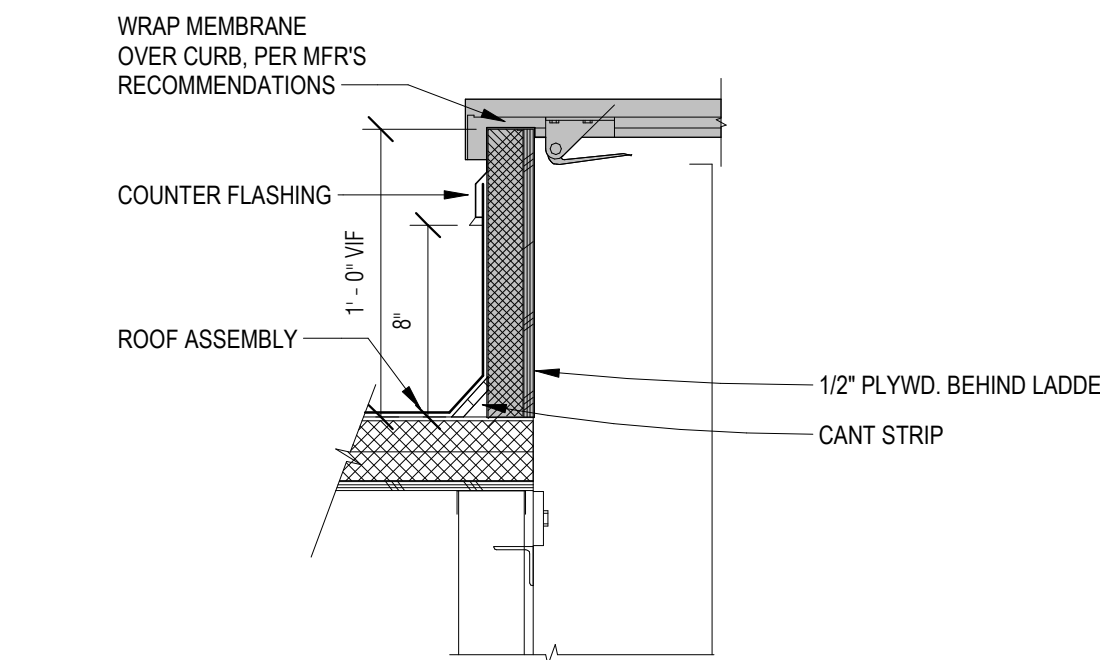
DETAIL LEGEND



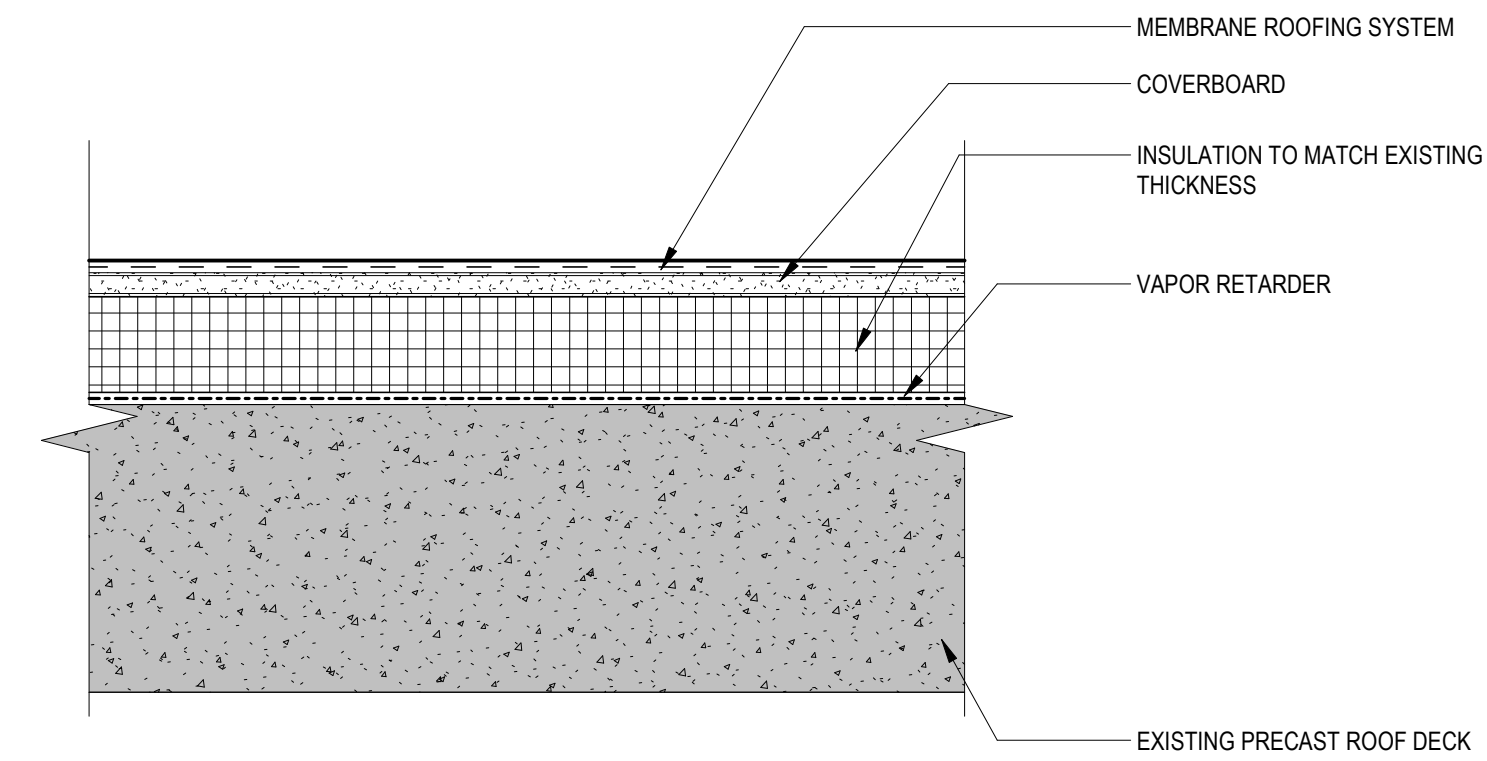
6 TYPICAL ROOF MEMBRANE AXON
 6" = 1'-0"



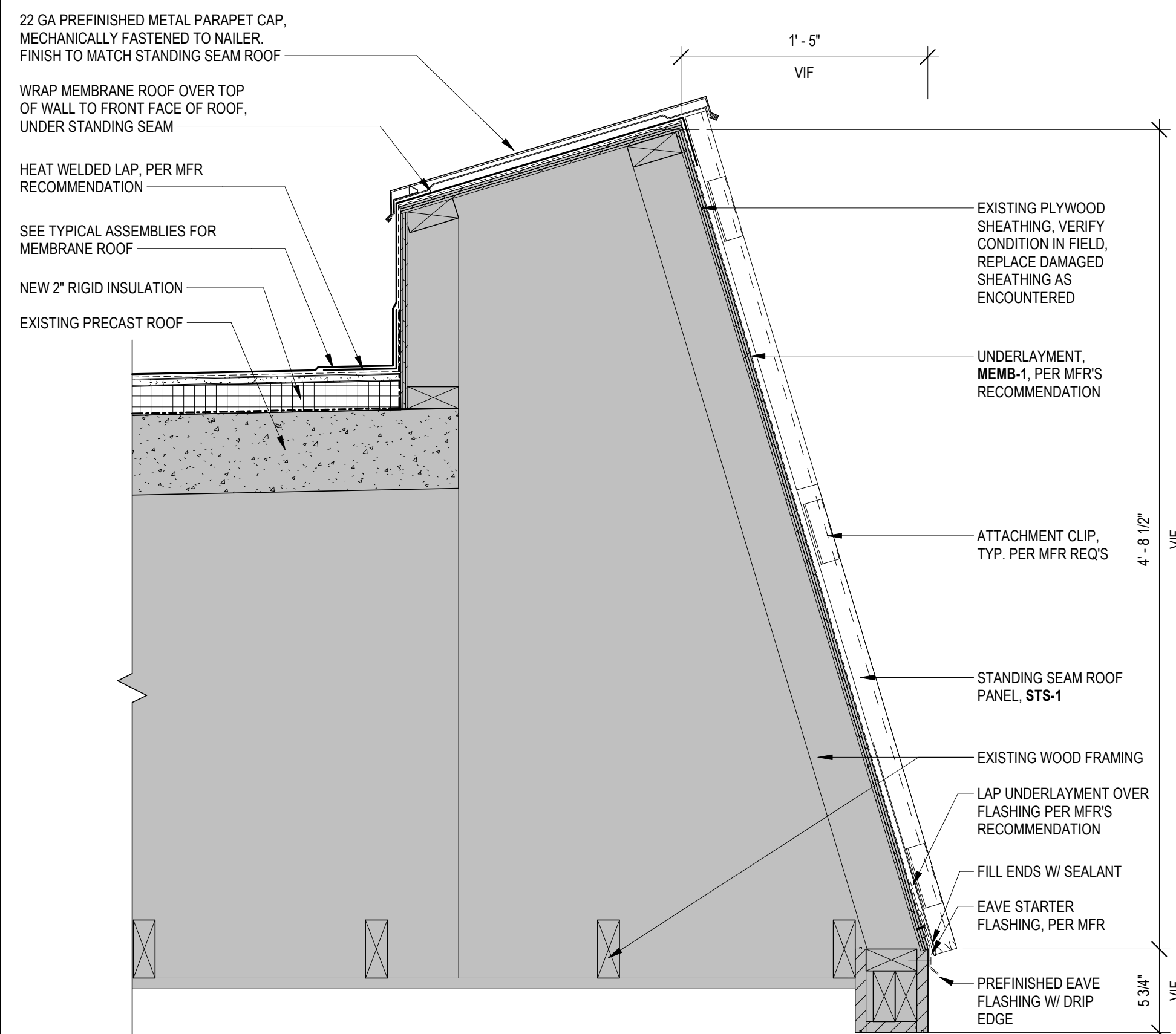
7 ROOF DRAIN
 6" = 1'-0"



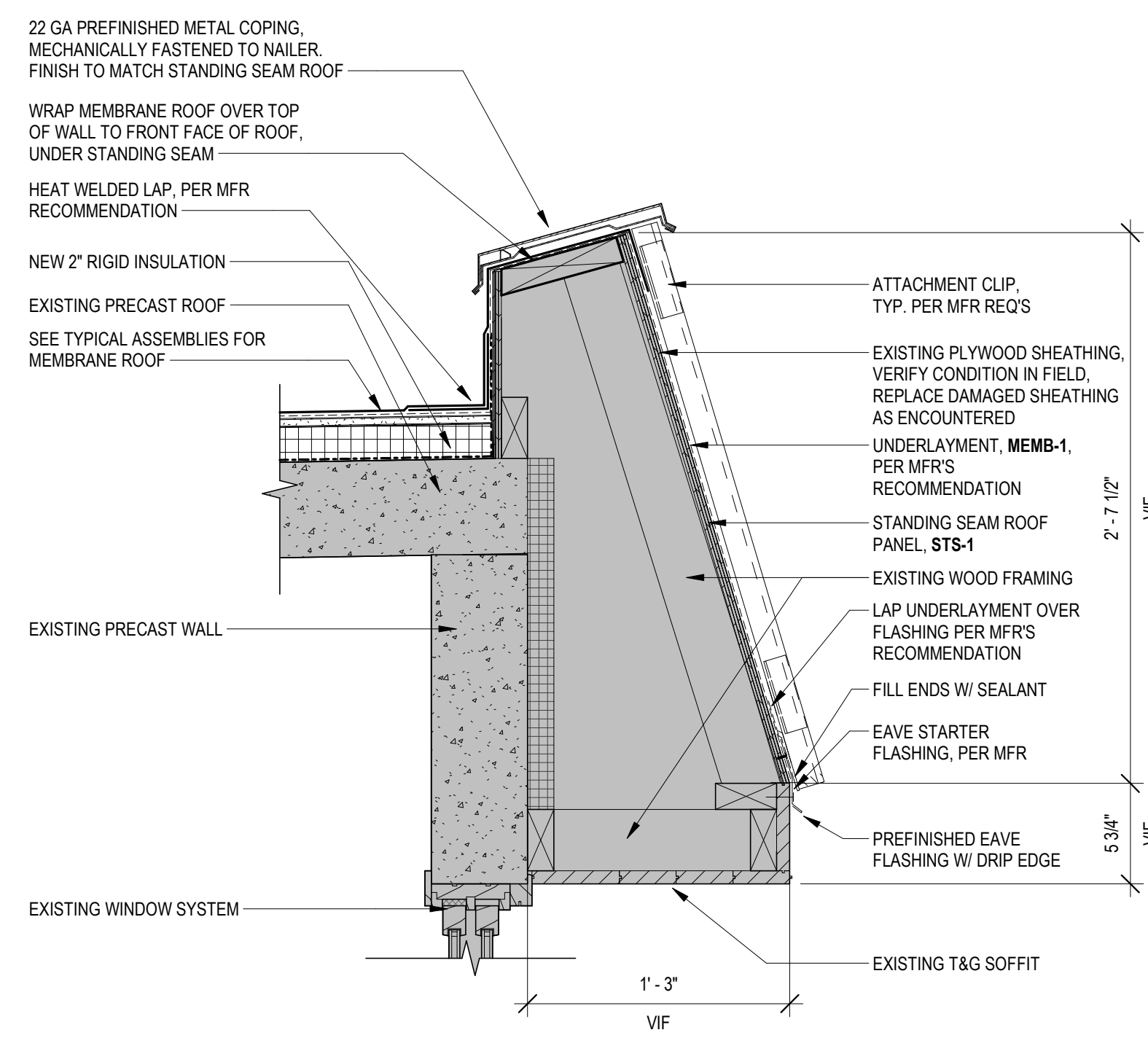
8 TYPICAL ROOF HATCH
 1 1/2" = 1'-0"



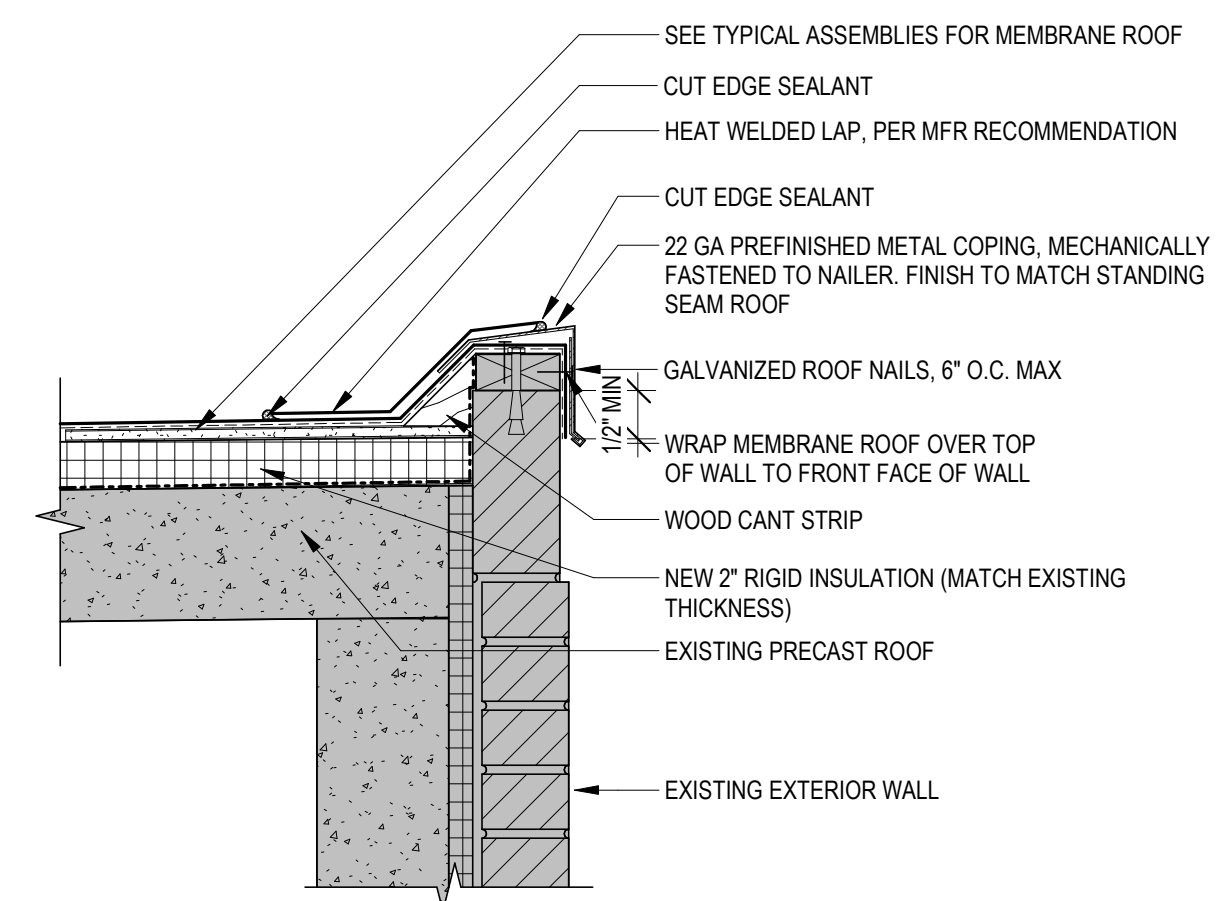
9 TYPICAL ROOF ASSEMBLY
 3" = 1'-0"



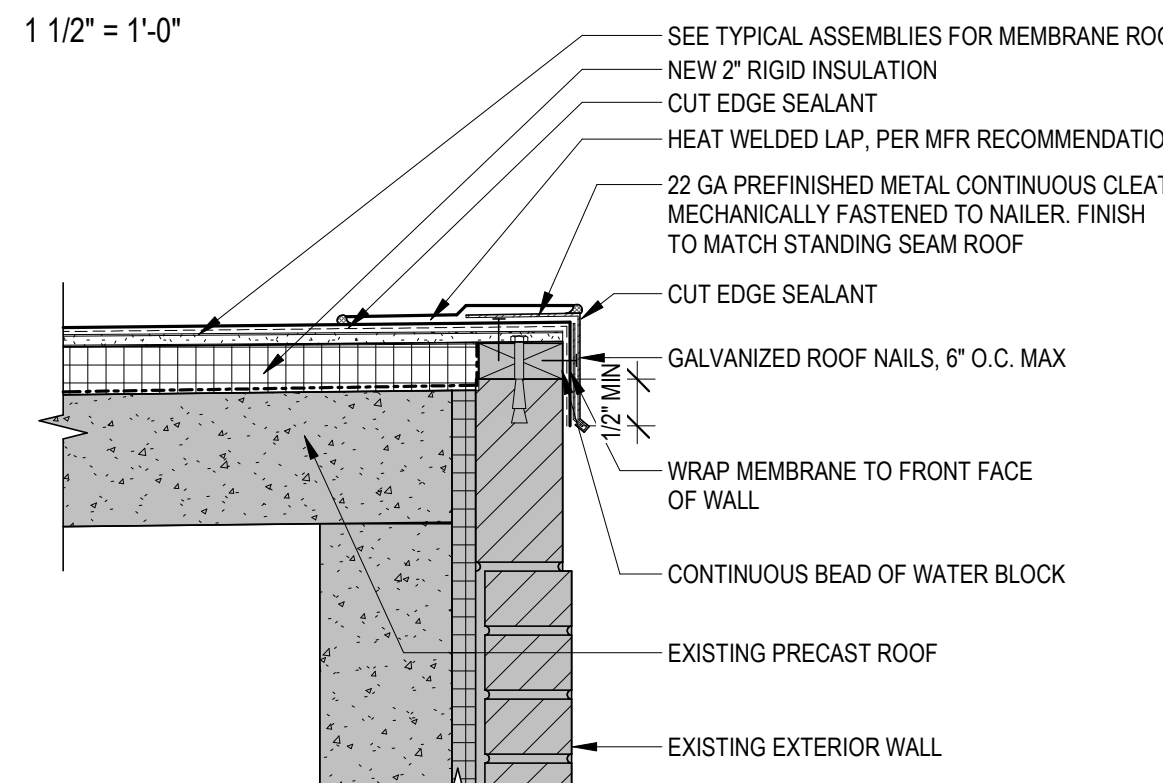
11 TYPICAL ACCENT ROOF OVER STAIR
 1 1/2" = 1'-0"



12 TYPICAL ACCENT ROOF OVER WINDOW
 1 1/2" = 1'-0"



13 TYPICAL ROOF EDGE
 1 1/2" = 1'-0"



14 TYPICAL ROOF EDGE 2
 1 1/2" = 1'-0"

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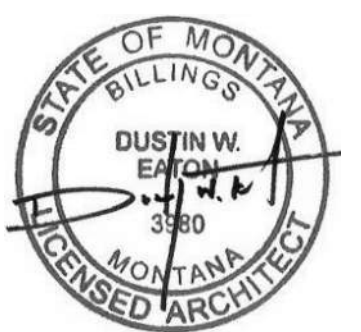


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GRANT CHAMBERLAIN
 ROOF REPLACEMENT



DRAWN BY: JR
 REVIEWED BY: ES
 REV. DESCRIPTION DATE



PPA #: 23-0657
 A/E #: 23-0657
 A&E PROJ #: 23123.00

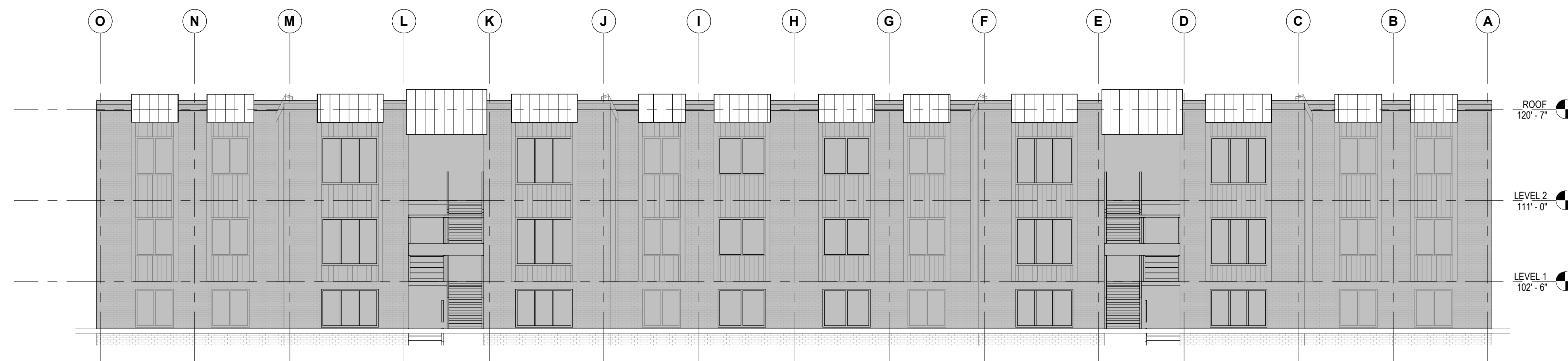
SHEET TITLE
 ROOF DETAILS

SHEET
A2.10

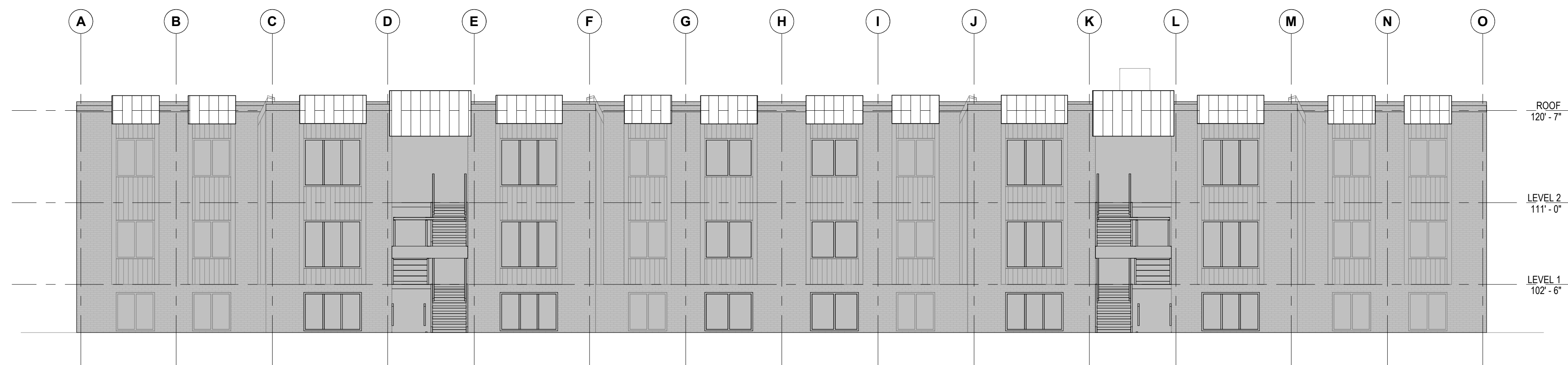
DATE
03/08/24

MATERIAL LEGEND

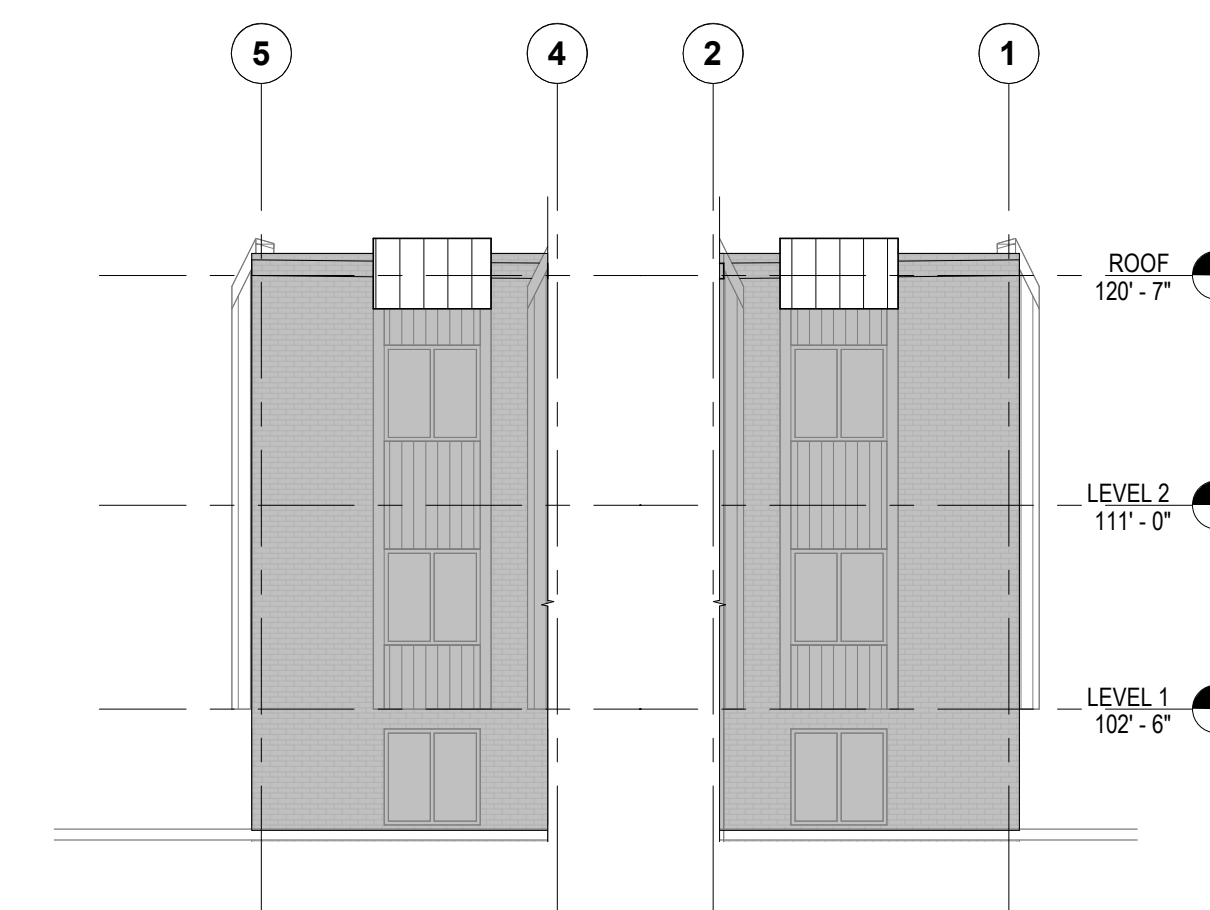
- GRAY HATCH INDICATES EXISTING CONSTRUCTION TO REMAIN. TYP.
- NEW STANDING SEAM METAL ROOF



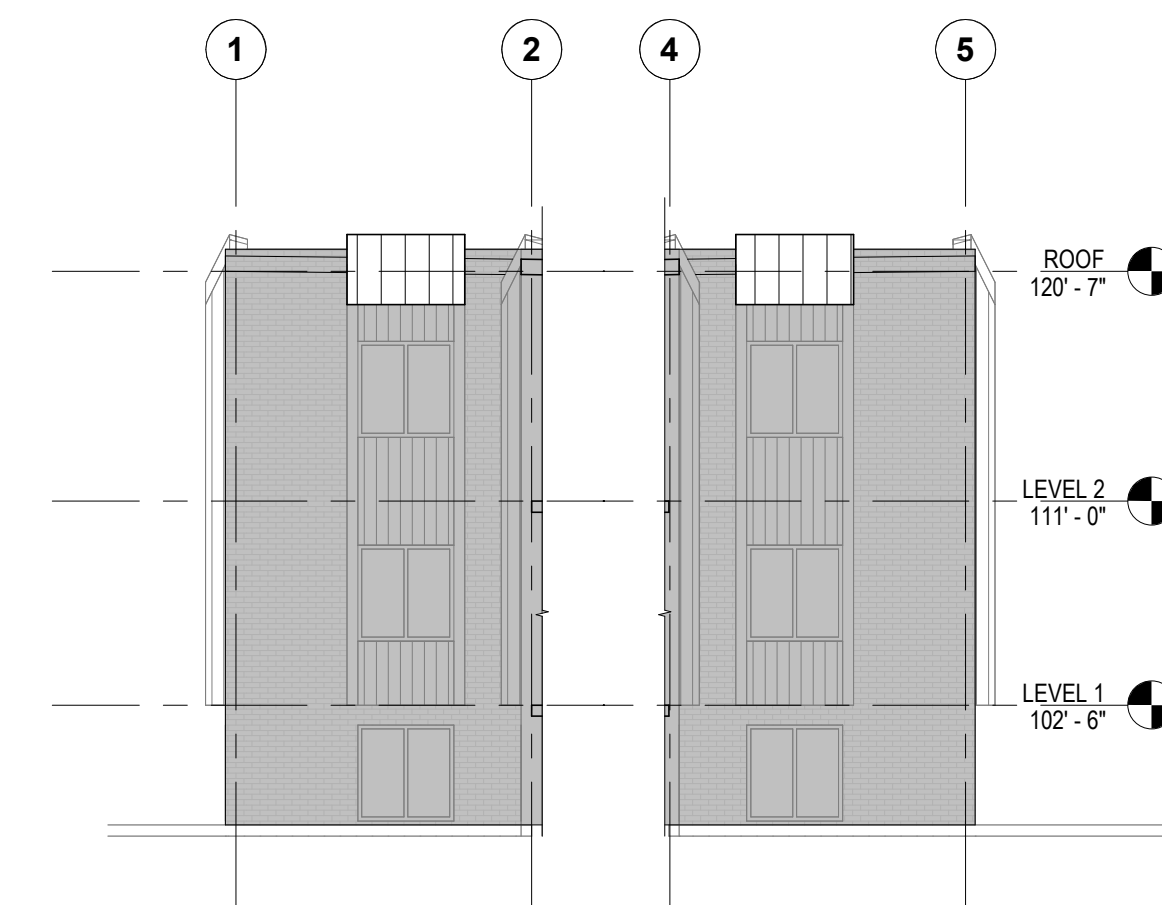
1 NORTH ELEVATION
1/8" = 1'-0"



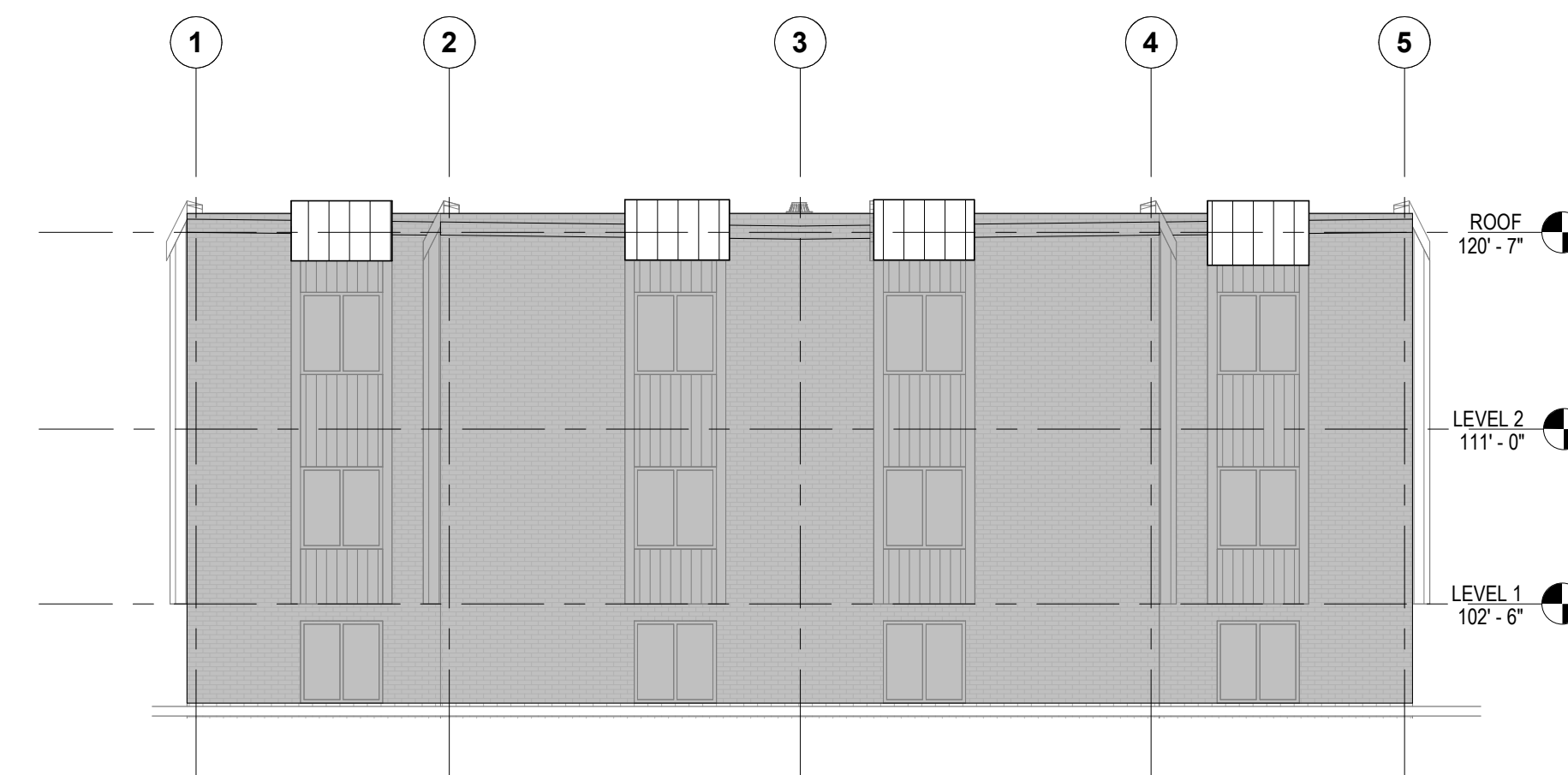
2 SOUTH ELEVATION
1/8" = 1'-0"



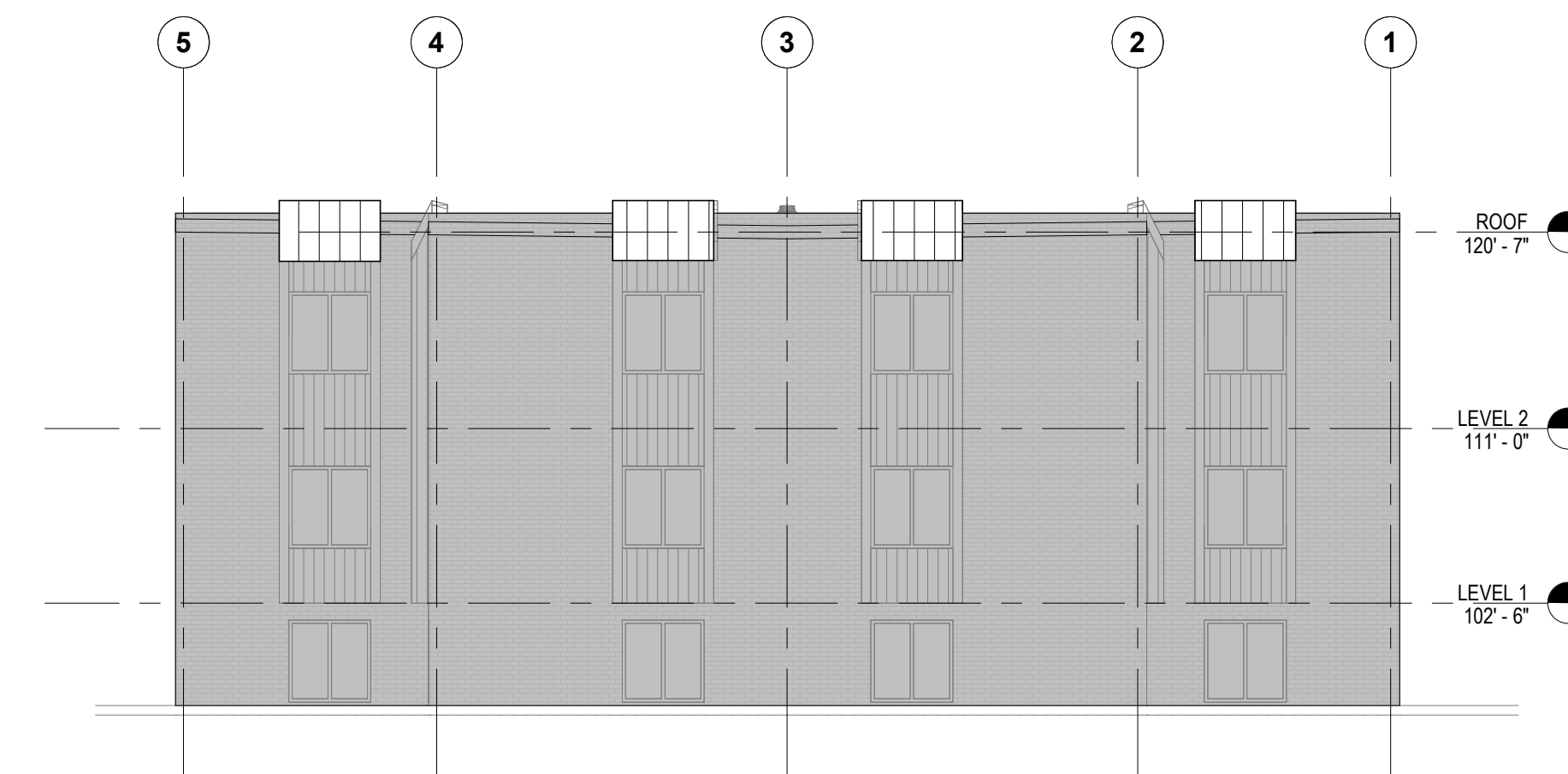
3 EAST RETURN ELEVATION
1/8" = 1'-0"



4 WEST RETURN ELEVATION
1/8" = 1'-0"



5 WEST ELEVATION
1/8" = 1'-0"

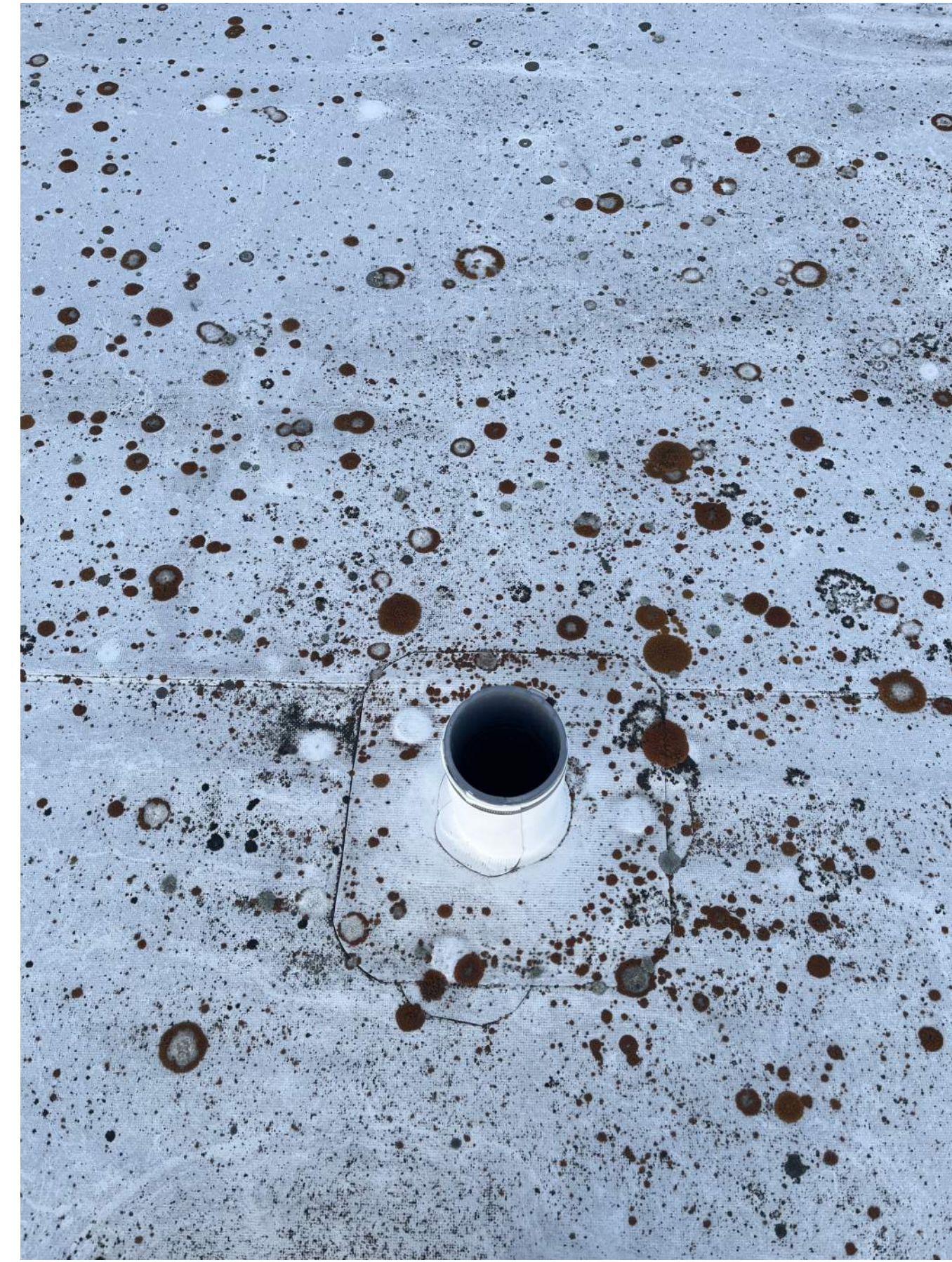


6 EAST ELEVATION
1/8" = 1'-0"

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EXISTING ROOF DRAIN, TYPICAL CONDITION.



EXISTING VENT THROUGH ROOF, TYPICAL CONDITION.



EXISTING BOILER AND/OR HOT WATER VENT, TYPICAL CONDITION.



EXISTING RELIEF VENT, TYPICAL CONDITION.



EXISTING COPING EDGE AT DECORATIVE ROOF LOCATION, TYPICAL CONDITION.



EXISTING DECORATIVE ROOF, TYPICAL CONDITION.



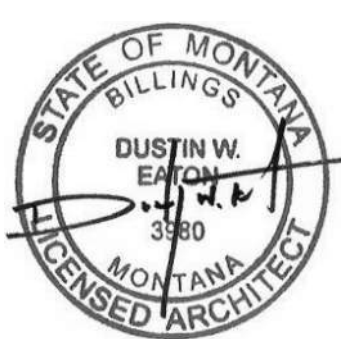
EXISTING ROOF WITH DRAIN, BOILER VENT, AND RELIEF VENT., TYPICAL CONDITION.



EXISTING ROOF HATCH, TYPICAL CONDITION.



DRAWN BY:	ES	
REVIEWED BY:	ES	
REV.	DESCRIPTION	DATE



PPA #:	23-0657
A/E #	23-0657
A&E PROJ #:	23123.00

SHEET TITLE
PHOTOS

SHEET
A4.2

DATE
03/08/24

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